

# Robert J. Dole VA Medical Center Renovate and Repair Structural, Building 4 Project Number 589A7-21-108

5500 E. Kellog Ave, Wichita, KS 67218



1 Site Location Plan  
1" = 200'-0"

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					<b>Approved:</b>	<b>FULLY SPRINKLERED</b>	<b>Location</b> Wichita, KS	<b>Building Number</b> 4
					<b>Issue Date</b> 9/23/2021	<b>Checked</b> TDW	<b>Drawn</b> KK	<b>Drawing Number</b> G0

**1 BASEMENT - LIFE SAFETY**  
1/8" = 1'-0"



**2 FIRST FLOOR - LIFE SAFETY**  
1/8" = 1'-0"



**3 SECOND FLOOR - LIFE SAFETY**  
1/8" = 1'-0"



- CODES / REGULATIONS LATEST EDITION:**
- VETERANS AFFAIRS DESIGN AND CONSTRUCTION PROCEDURES
  - VETERANS AFFAIRS MASTER CONSTRUCTION SPECIFICATION
  - VETERANS AFFAIRS BARRIER FREE DESIGN GUIDE
  - VETERANS AFFAIRS ROOM FINISHES, DOOR AND HARDWARE SCHEDULE
  - OSHA STANDARDS
  - INTERNATIONAL BUILDING CODE (IF DIRECTED BY OWNER)
  - VA SEISMIC REQUIREMENTS
  - NATIONAL ELECTRICAL CODE
  - NFPA CODES WITH THE EXCEPTION OF NFPA 5000
  - NATIONAL STANDARD PLUMBING CODE
  - UNIFORM FEDERAL ACCESSIBILITY STANDARDS
  - FEDERAL REGULATIONS PARTS 434 AND 435
  - THE PROVISIONS FOR CONSTRUCTION AND SAFETY SIGNS AS STATED IN THE GENERAL REQUIREMENTS SECTION 01 00 00 OF THE VA MASTER SPECIFICATIONS
- LIFE SAFETY INFORMATION**
- OCCUPANCY TYPE: BUSINESS / A-3  
CONSTRUCTION TYPE II-B (200)
- AREA BLDG 4 BASEMENT B: 7,529 SF  
AREA BLDG 4 FIRST B: 5,350 SF  
AREA BLDG 4 SECOND B: 2,179 SF  
AREA BLDG 4 THIRD B: 3,232 SF

**CODE ANALYSIS**

	EXISTING	PROPOSED
OCCUPANCY TYPE:		
GROUND FLOOR:	B	B
FIRST FLOOR:	A AND B	A AND B
SECOND FLOOR:	B	B
CONSTRUCTION TYPE:	TYPE II-B	TYPE II-B
AUTOMATIC FIRE SPRINKLERS:		
GROUND FLOOR:	ENTIRE FLOOR	NO CHANGE
FIRST FLOOR:	STAGE	NO CHANGE
SECOND FLOOR:	NONE	NO CHANGE
ALLOWABLE BUILDING AREA		
TYPE B OCCUPANCY	19,000 SF	NO CHANGE
TYPE A-3 OCCUPANCY	9,500 SF	NO CHANGE
ACTUAL BUILDING AREA		
GROUND FLOOR: B	7,529 SF	NO CHANGE
FIRST FLOOR: A-3 AND ACCESSORY SPACES	5,350 SF	NO CHANGE
FIRST FLOOR: B	2,179 SF	NO CHANGE
SECOND FLOOR: B	532 SF	NO CHANGE
SECOND FLOOR: B	2,700 SF	NO CHANGE
ALLOWABLE NUMBER OF STORIES:	3	NO CHANGE
ACTUAL NUMBER OF STORIES:	3	NO CHANGE
OCCUPANT LOAD		
GROUND FLOOR: B	7,529/100 = 76	NO CHANGE
FIRST FLOOR: A-3	3214/15 = 215	NO CHANGE
FIRST FLOOR: B	2,179/100 = 22	NO CHANGE
SECOND FLOOR: B	532/100 = 6	NO CHANGE
SECOND FLOOR: B	2700/100 = 27	NO CHANGE
TOTAL FIXTURE COUNT:		
2021 IBC, TABLE 2802.1	REQUIRED	PROVIDED
BUSINESS OCCUPANCY:		
WATER CLOSETS:		
MALE: 66 OCC.	1:25	3
FEMALE: 66 OCC.	1:25	3
LAVATORIES:		
MALE: 66 OCC.	1:25	2
FEMALE: 66 OCC.	1:25	2
DRINKING FOUNTAINS:		
SERVICE SINKS:	1 PER FLOOR	-
ASSEMBLY OCCUPANCY:		
WATER CLOSETS:		
MALE: 108 OCC.	1:125	1
FEMALE: 108 OCC.	1:65	2
LAVATORIES:		
MALE: 108 OCC.	1:200	1
FEMALE: 108 OCC.	1:200	1
DRINKING FOUNTAINS:	1:500	1 PER FLOOR
SERVICE SINKS:	1 PER FLOOR	1 @ 2 FLOORS

**BUILDING & LIFE SAFETY REQUIREMENTS**

NEW PARTITION KEY	WALL RATING	DESCRIPTION	RATED U/L ASSEMBLIES	NFPA 101	OPENINGS		DAMPERS	
					RATING	RFRNC.	TYPE	RFRNC.
[Red dashed line]	2 HR	BUILDING SEPARATION: FIRE BARRIER (FIRE WALL IN IBC)	UL U412 UL U419	NFPA 221 8.2.1.3	90 MIN	8.3.4.2 TBL	FIRE 90 MIN	NFPA 90 8.3.5.7 9.2.1
[Red dotted line]	2 HR	OCCUPANCY/AREA SEPARATION FIRE BARRIER	UL U412 UL U419	NFPA 6.1.14.4.1 19.1.3.5.1	90 MIN	8.3.4.2 TBL	FIRE 90 MIN	NFPA 90 8.3.5.7 9.2.1
[Red dashed line]	2 HR	HORIZONTAL EXIT (A REFUGE AREA)	UL U412 UL U419	NFPA 7.2.3.3.1 (1) 19.1.3.8 19.2.2.2.19.2.2.25 7.1.3.2.1	90 MIN	NFPA 7.2.1.4.1 7.2.4.3.7 8.3.4 18.2.2.3.3.4.5.6.7 19.2.2.2.3.3.4	FIRE 90 MIN	NFPA 8.3.5.7 9.2.1 7.2.4.3.5
[Green hatched]	2 HR	VERT. OPG. (EXIT ENCLER/SHAFT) FIRE BARRIER (2 HR = 4 OR MORE STORIES) (1 HR = LESS THAN 4 STORIES)	UL U412 UL U419 UL U415 (A)	NFPA 19.3.1.1 NFPA 8.6.2 8.6.5	90 MIN 60 MIN	8.3.4.2 TBL 18.4.4.7.2.2 7.1.3.2.3(B)	NOT ALLOWED UNLESS SERVING STAIR ONLY	N/A
[Green hatched]	2 HR	EXIT PASSAGEWAY (HORIZ.) FIRE BARRIER	UL U412 UL U419 UL U415 (A)	NFPA 7.2.6 19.2.2.7 18.2.2.7	90 MIN 60 MIN	NFPA 8.3.4.2 TBL	NOT ALLOWED	N/A
[Blue hatched]	2 HR	VERT. OPG. (SHAFT) FIRE BARRIER	UL U412 UL U419	NFPA 19.3.1.1 19.2.2.7 8.6.5 8.6.5(3) & 2	60 MIN (R)	NFPA 8.3.4.2 TBL	N/A	8.6.4.5
[Green dotted]	1 HR	HAZ/INCIDENTAL USE FIRE BARRIER	UL U412 UL U419	NFPA 18.3.2.1.2 NFPA 8.4.1.1 19.3.2.1	45 MIN	NFPA 8.3.4.2 TBL 19.3.2.1.3.5	FIRE 90 MIN	N/A
[Purple dashed]	NR-RESIST SMK	HAZ/INCIDENTAL USE SMOKE PARTITIONS (SPRINKLERED)		NFPA 8.4.2 (3) 18.3.2.1.3 19.3.2.1.2	NR SELF OR AUTO CLOSING	8.3.4.2 8.4.3 19.3.2.1.4.3.5	VARIES	8.4.4.1 8.4.6.2
[Blue dashed]	1 HR	SUBDIVIDING SPACES SMOKE BARRIER (B OCCUPANCY)		NFPA 8.5.2 18.3.7.3 19.3.7.3	20 EXIST. MIN. CORE WD.	NFPA 8.3.4.2 TBL 18.3.7.8	SMOKE 90 MIN	8.5.5.2 18.3.7.3(2) 19.3.7.3(2)
[Yellow dashed]	NR	SUITE SEPARATION SMOKE PARTITION	UL U412 UL U419 UL U415 (A)	NFPA 8.4.2 18.2.2.7.1.4 19.2.2.7.1.1	NR SELF OR AUTO CLOSING	8.4.3	VARIES	8.4.4.1 8.4.6.2
[Purple solid]	NR-RESIST SMK	EXIT ACCESS CORRIDORS (A-2) SMOKE PARTITIONS (SPRINKLERED)		NFPA 8.4.2 18.3.6.2 19.3.6.2	NR	8.4.3 18.3.6.4.1 19.3.6.4.1	VARIES	8.4.4.1 8.4.6.2 18.3.6.4.1
[Purple solid]	NR	EXIT ACCESS CORRIDORS (B & AHC) NON-RATED PARTITIONS		21.3.6 38.3.6	NR	N/A	NONE	N/A

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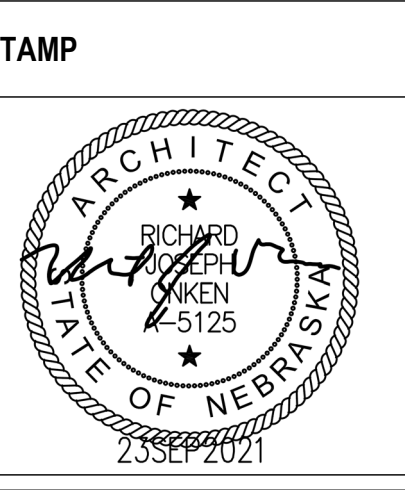
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**Office of Construction and Facilities Management**

**VA U.S. Department of Veterans Affairs**

**Drawing Title**  
LIFE SAFETY PLAN

**Approved:**

**Phase**  
BID DOCUMENTS

**FULLY SPRINKLERED**

**Project Title**  
Renovate and Repair Structural, Building 4

**Location**  
Wichita, KS

**Issue Date**  
9/23/2021

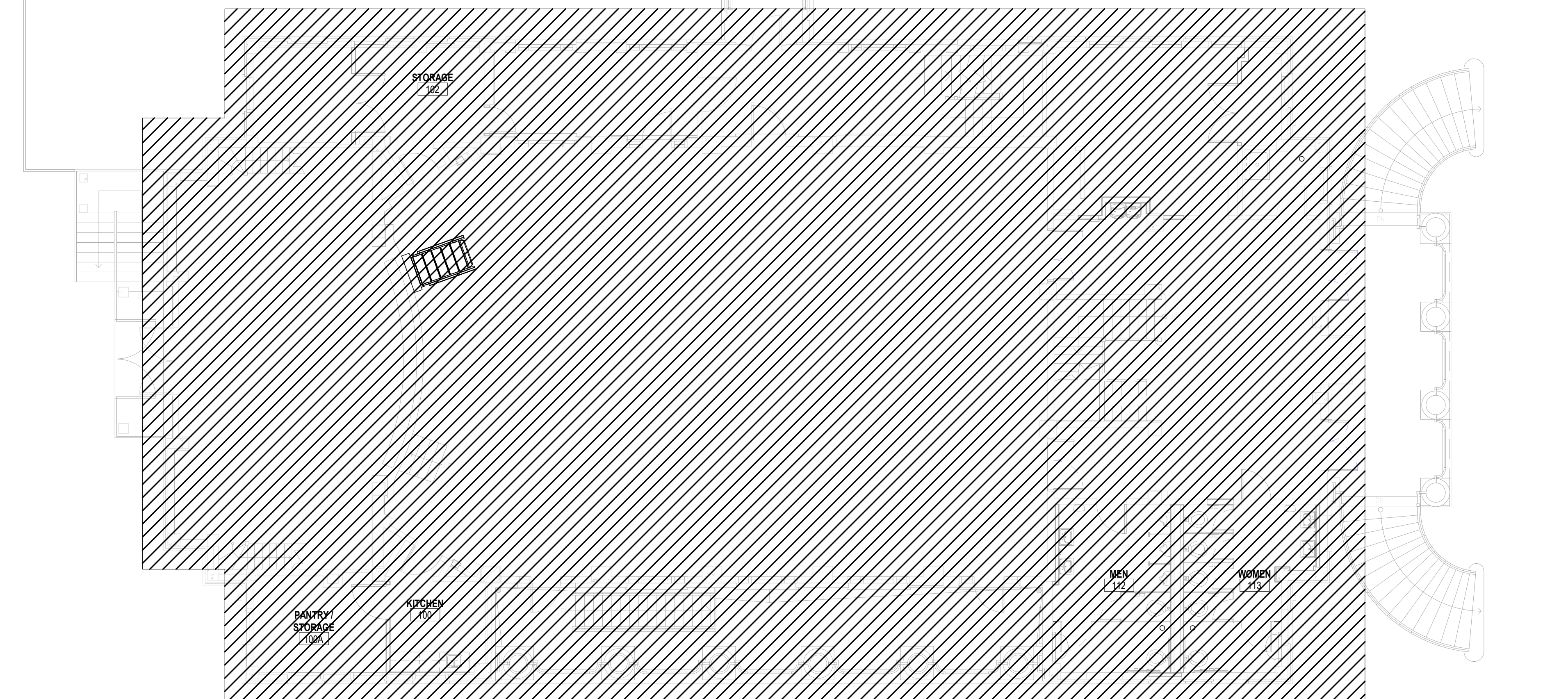
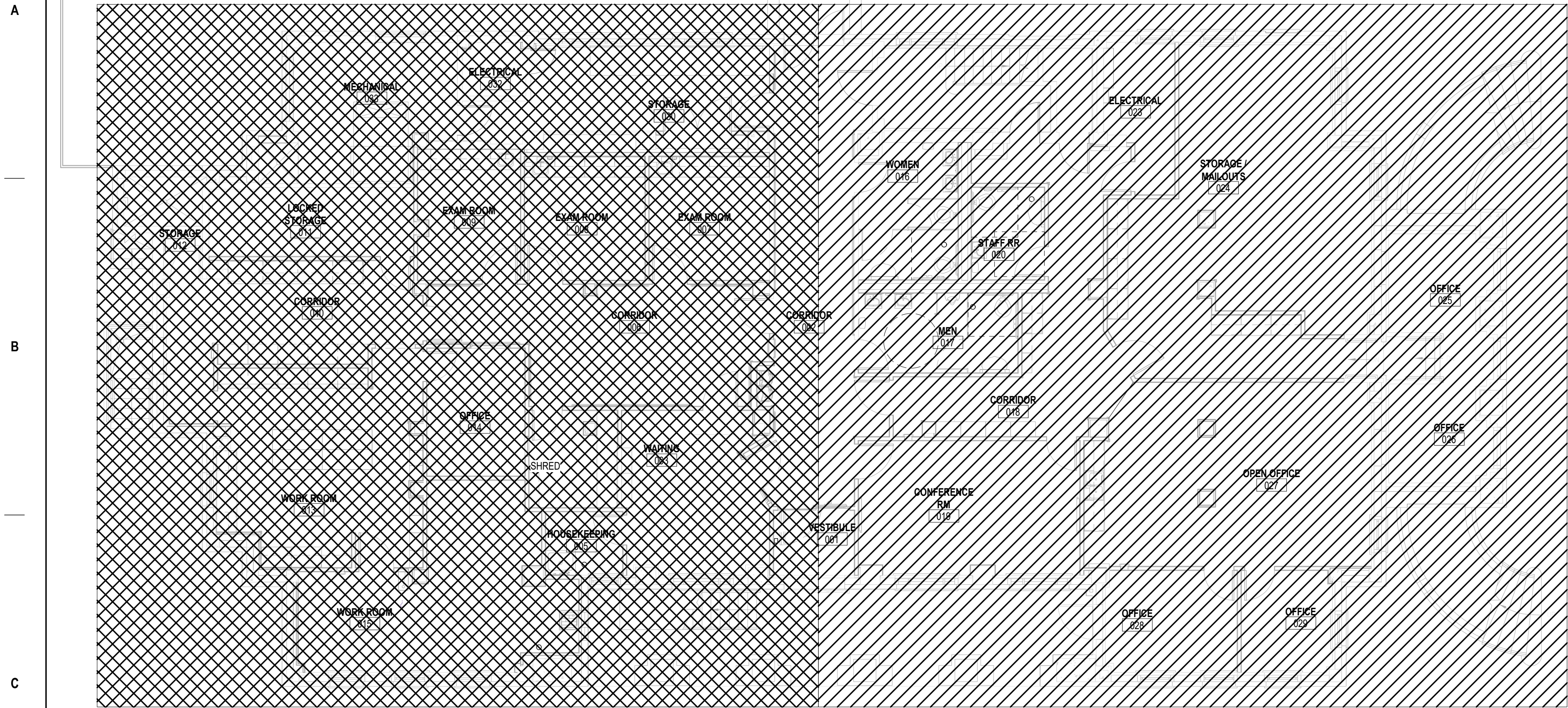
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**Project Number**  
589A7-21-108

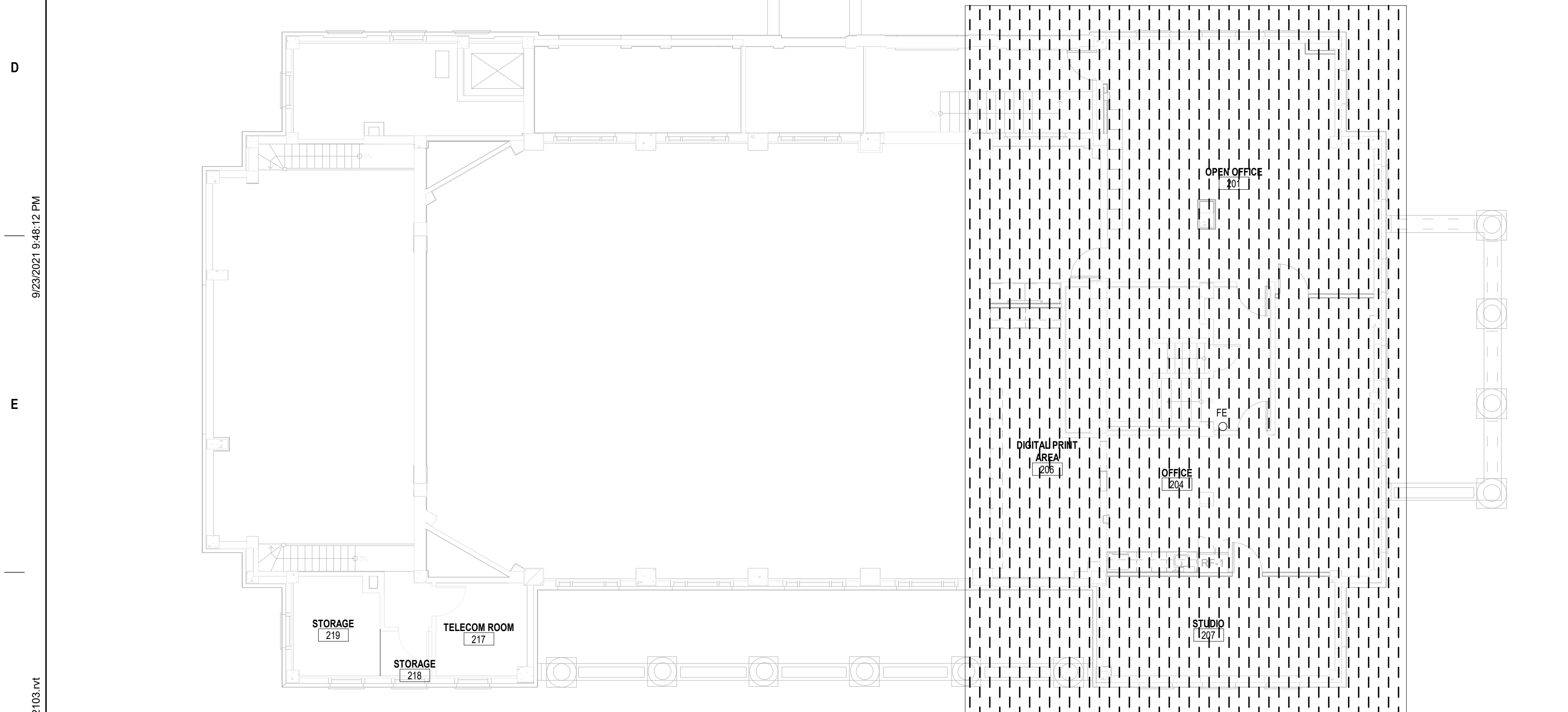
**Building Number**  
4

**Drawing Number**  
G-101



1 BASEMENT - PHASING  
1/8" = 1'-0"

2 FIRST FLOOR - PHASING  
1/8" = 1'-0"



3 SECOND FLOOR - PHASING  
1/8" = 1'-0"

**PHASING NOTES & LEGEND**

**GENERAL PHASING NOTES:**

THE PHASING NARRATIVE AND PHASING FLOOR PLANS PROVIDE A GENERAL OVERVIEW FOR PROJECT PHASING AS DESIGNED. NEITHER THE NARRATIVE NOR THE DRAWINGS ARE INTENDED TO FULLY COMMUNICATE EVERY ASPECT OF PHASING OR THE ENTIRE SEQUENCE OF CONSTRUCTION ACTIVITIES AS THEY RELATE TO PHASING. THE CONTRACTOR SHALL UNDERSTAND THE GENERAL SCOPE OF PHASING AS DESCRIBED HEREIN AND WORK WITH THE PROJECT CONTRACTING OFFICER'S REPRESENTATIVE (COR) THROUGHOUT THE CONSTRUCTION PROCESS TO DEVELOP APPROPRIATE PLANS FOR APPROACHING THE VARIOUS DETAILS OF EACH PHASE OF THE PROJECT, INCLUDING (BUT NOT LIMITED TO): TIMING OF CHANGES TO BUILDING SYSTEMS, EXACT LOCATIONS OF TEMPORARY WALLS AND EGRESS DOORS, TRANSITIONS BETWEEN PHASES, INFECTION CONTROL MEASURES, HAZARDOUS MATERIALS ABATEMENT, CONSTRUCTION CIRCULATION PATHWAYS, AND EMERGENCY PREPAREDNESS.

REFER TO ABATEMENT SPECIFICATION SECTIONS IN THE SPECIFICATIONS MANUAL. HAZARDOUS MATERIALS SHALL BE ABATED IN A MANNER CONGRUENT WITH THE GENERAL PHASING PLAN. REFER ALSO TO DEMOLITION PLANS FOR ADDITIONAL CLARIFYING INFORMATION. COPIES OF THE MOST CURRENT ASBESTOS REPORT AND LEAD-BASE PAINT REPORT ARE TO BE OBTAINED FROM THE COR.

THIS PHASING PLAN INCLUDES LOCATING ACTIVE CONSTRUCTION ZONES DIRECTLY ADJACENT TO WORKING CLINICAL AREAS. SPECIAL CARE SHALL BE TAKEN BY THE CONTRACTOR TO COORDINATE DISRUPTIVE ACTIVITIES (NOISE, VIBRATION, ETC.) IN SUCH A WAY AS TO MINIMIZE THEIR IMPACT ON THE VA'S ABILITY TO PROVIDE HEALTHCARE SERVICES. THE PROJECT COR SHALL HAVE THE AUTHORITY TO STOP ANY ACTIVITY DEEMED TOO DISRUPTIVE FOR HOSPITAL OPERATIONS AND WILL ASSIST THE CONTRACTOR IN SCHEDULING AN APPROPRIATE TIME OR PLACE FOR THE SAME ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE COR IN ADVANCE OF ANY AND ALL ACTIVITIES THAT COULD HAVE THE POTENTIAL TO DISRUPT THE ADJACENT DEPARTMENTS.

	PHASE 1		PHASE 2		PHASE 3
--	---------	--	---------	--	---------

**PHASE 1 - DEMOLITION & RENOVATION OF EAST SIDE OF BASEMENT AND ALL OF FIRST FLOOR INCLUDING CEILING ABOVE STAGE**

- PROSTHETICS / ORTHOTICS CLINIC AND SECOND FLOOR TO REMAIN OPERATIONAL DURING PHASE 1 AND 3.
- CONTRACTOR TO PROVIDE TWO 8' X 40' CLIMATE-CONTROLLED GROUND LEVEL OFFICE CONTAINERS DURING PHASE 1. SEE GENERAL REQUIREMENTS - 01 00 00.
- CONTRACTOR SHALL PROVIDE A DEMISING WALL AROUND CONSTRUCTION AREA FOR NOISE CONTROL AND CONSTRUCTION DEBRIS. ENSURE CORRIDORS AND STAIRS SERVING WEST SIDE OF BASEMENT AND SECOND FLOOR ARE MAINTAINED OPERATIONAL DURING HOURS OF OPERATION (7AM - 4PM).
- MAINTAIN ALL UTILITIES / FIRE SPRINKLER SYSTEM OPERATIONAL FOR AREAS OUTSIDE CONSTRUCTION AREA. COORDINATE TEMPORARY OUTAGES WITH COR OUTSIDE HOURS OF OPERATION.
- CONTRACTOR SHALL NOTIFY VA OF THE PLANNED COMPLETION DATE OF PHASE 1 SO VA CAN PLAN THE TRANSITION OF OPERATIONS INTO PHASE 1 AREA ACCORDINGLY.

**PHASE 2 - DEMOLITION & RENOVATION OF SECOND FLOOR**

- ALL OTHER AREAS OF BUILDING 4 TO REMAIN OPERATION DURING PHASE 2.
- MAINTAIN ALL UTILITIES / FIRE SPRINKLER SYSTEM OPERATIONAL FOR AREAS OUTSIDE CONSTRUCTION AREA. COORDINATE TEMPORARY OUTAGES WITH COR OUTSIDE HOURS OF OPERATION.
- CONTRACTOR SHALL NOTIFY VA OF THE PLANNED COMPLETION DATE OF PHASE 3 SO VA CAN PLAN THE TRANSITION OF OPERATIONS INTO PHASE 2 AREA ACCORDINGLY.

**PHASE 3 - DEMOLITION & RENOVATION OF WEST SIDE OF BASEMENT**

- ALL OTHER AREAS OF BUILDING 4 TO REMAIN OPERATION DURING PHASE 3.
- CONTRACTOR SHALL PROVIDE A DEMISING WALL AROUND CONSTRUCTION AREA FOR NOISE CONTROL AND CONSTRUCTION DEBRIS. ENSURE CORRIDORS AND STAIRS SERVING EAST SIDE OF BASEMENT AND SECOND FLOOR ARE MAINTAINED OPERATIONAL DURING HOURS OF OPERATION (7AM - 4PM).
- MAINTAIN ALL UTILITIES / FIRE SPRINKLER SYSTEM OPERATIONAL FOR AREAS OUTSIDE CONSTRUCTION AREA. COORDINATE TEMPORARY OUTAGES WITH COR OUTSIDE HOURS OF OPERATION.
- CONTRACTOR SHALL NOTIFY VA OF THE PLANNED COMPLETION DATE OF PHASE 3 SO VA CAN PLAN THE TRANSITION OF OPERATIONS INTO PHASE 3 AREA ACCORDINGLY.

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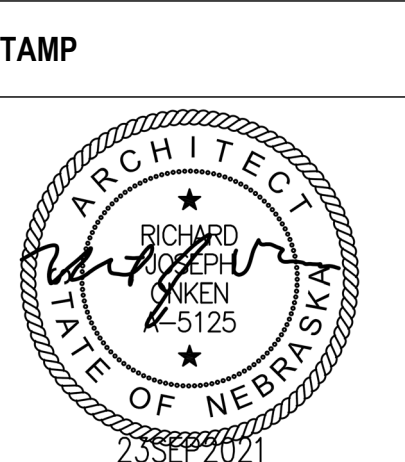
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**ARCHITECT/ENGINEER OF RECORD**

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VA U.S. Department of Veterans Affairs

Drawing Title  
**PHASING PLAN**

Approved:

Phase  
**BID DOCUMENTS**

**FULLY SPRINKLERED**

Project Title  
Renovate and Repair Structural, Building 4

Location  
Wichita, KS

Issue Date  
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Building Number  
4

Drawing Number  
G-102